



# FITCHBURG CITY HALL CAMPUS

718 MAIN STREET  
FITCHBURG, MA 01420

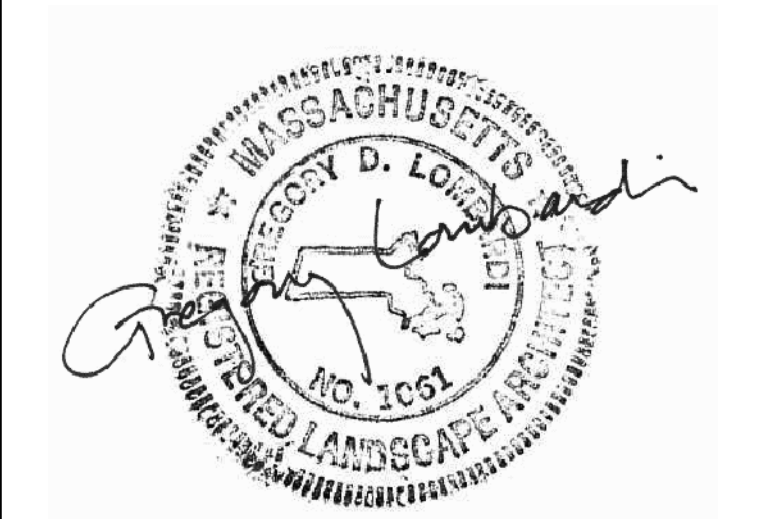
ARCHITECT

**E-ICON**  
ARCHITECTURE  
101 SUMMER ST BOSTON MA 02110

CONSULTANT

**GREGORY LOMBARDI DESIGN**  
*Landscape Architecture*

STAMP



KEY PLAN

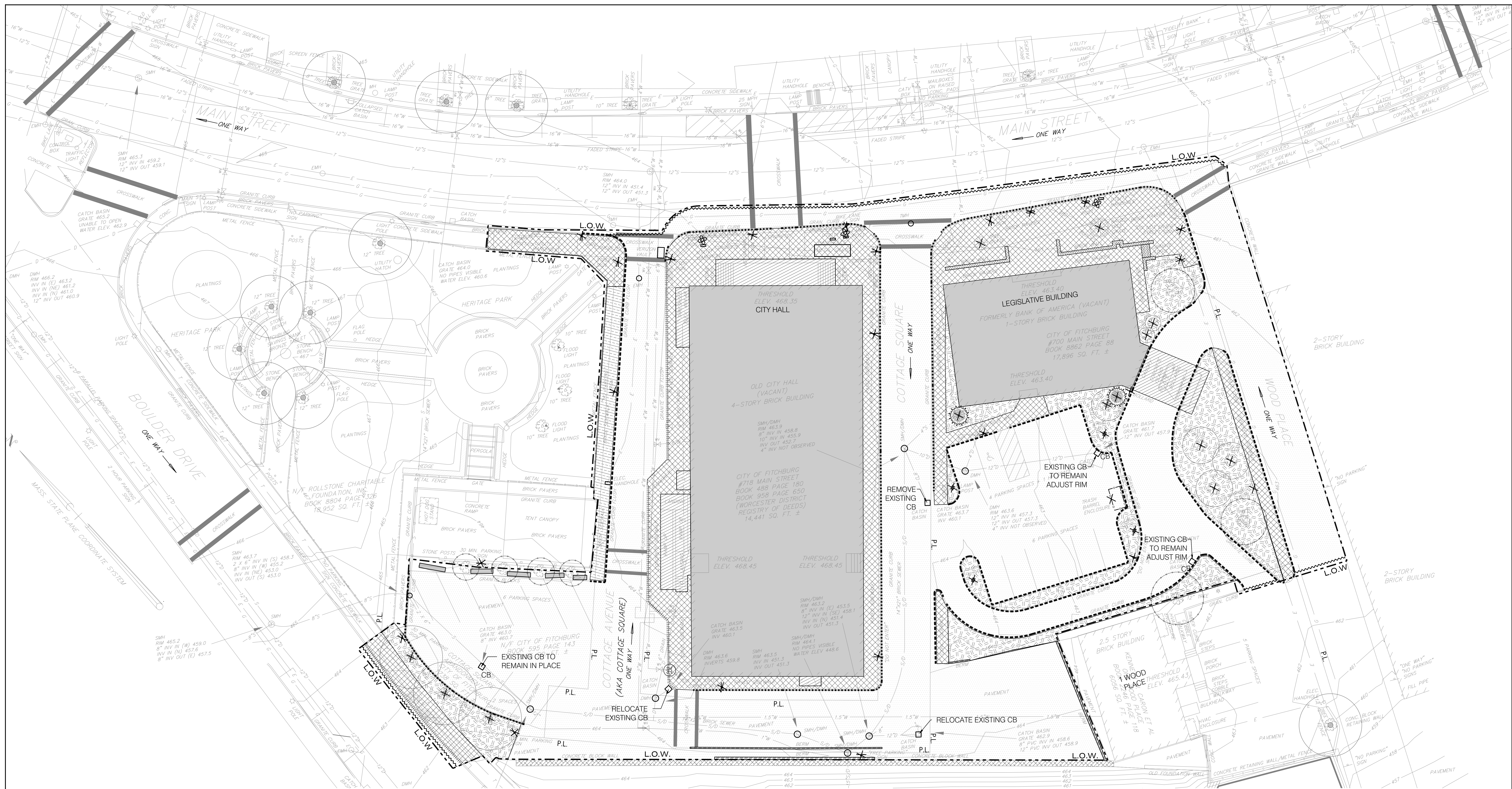
2	2019-02-12	PERMIT SET
1	2018-12-17	100% DD SET
NO.	DATE	DESCRIPTION

PROJECT NUMBER: 218017  
DRAWN BY: HD  
CHECKED BY: BM

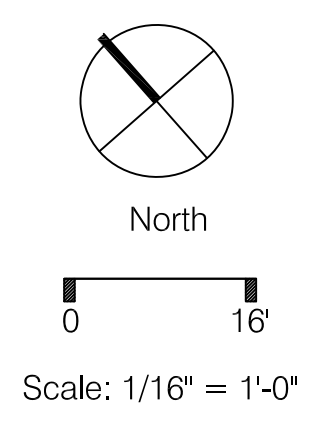
SHEET TITLE

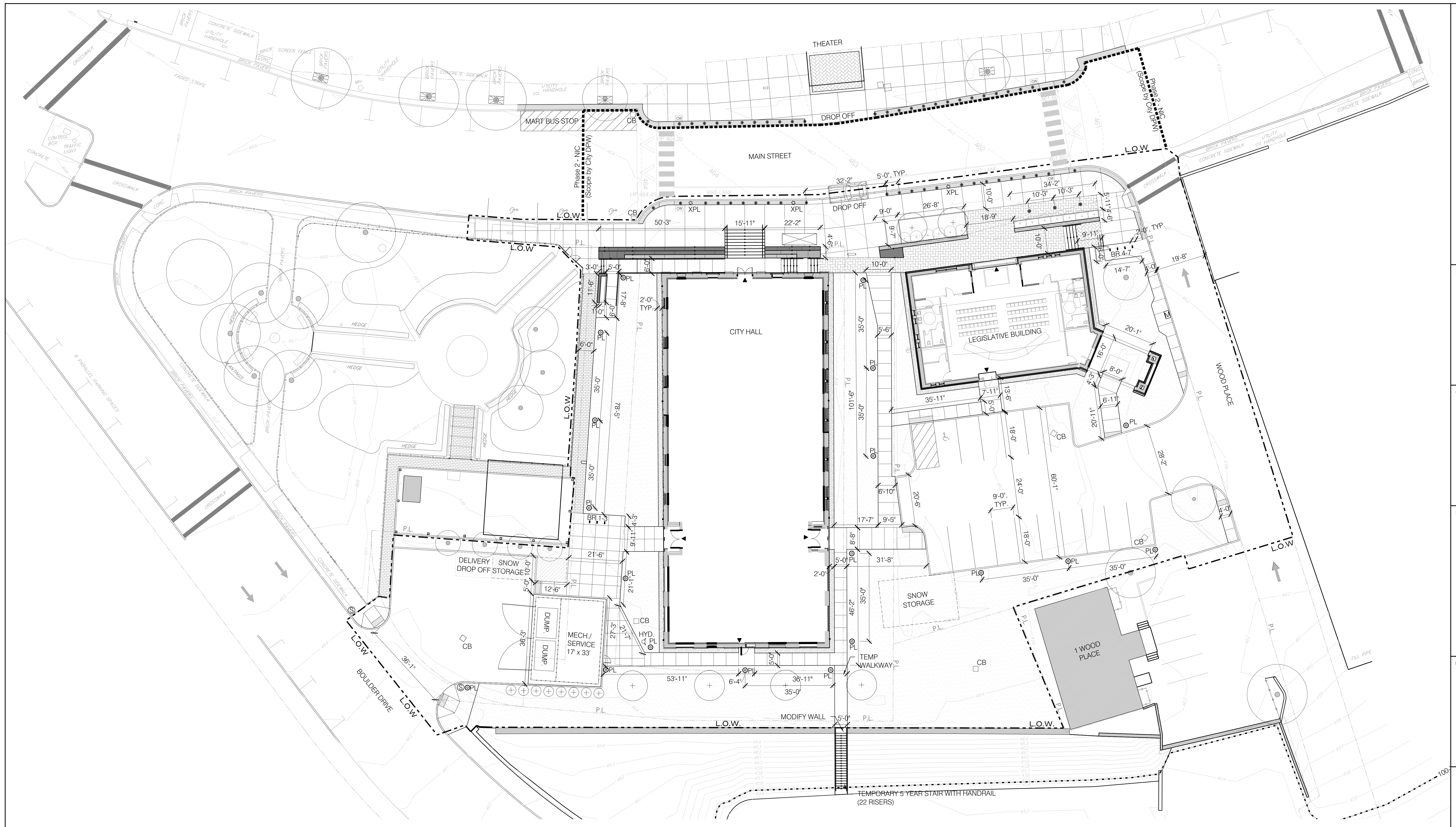
**SITE PREPARATION PLAN**

**L L-000**



- LEGEND**
- L.O.W. Limit of Work
  - P.L. Property Line
  - Sawcut Pavement
  - Remove and Dispose of Vehicular Pavement and Base Material
  - Remove and Dispose of Pedestrian Pavement and Base Material
  - Salvage and Reset Existing Brick Pavement
  - Salvage Curb and Return to Owner
  - Remove Existing Granite Curb
  - Salvage and Re-set Existing Granite Curb
  - Remove Existing Wall and Associated Foundation
  - Existing Concrete Block Wall to Remain in Place and be Protected
  - Remove Existing Berm and Associated Foundation
  - Building Modification, Refer to Arch. Dwg's
  - Remove Existing Pole Light and Foundation, (6 Total)
  - Salvage and Store Existing Pole Light, (3 Total)
  - Salvage Sign and Return to Owner, (18 Total)
  - Salvage Parking Meter (2 Total)
  - Remove Existing Bollard and Foundation (1 Total)
  - Remove Existing Tree Grate (2 Total)
  - Protect in Place Existing Utility Manholes, Grates, and Covers. Refer to Grading Plan for Elevations
  - Salvage Existing Metal Fence, Remove Associated Footings
  - Remove Existing Tree or Shrub, Grind Stump to 2'-0" Depth
  - Existing Deciduous Tree to Remain, Protect in Place with Tree Protection Fence (4 Total)
  - Remove Existing Hedge and Root Mass
  - Clear and Grub All Plant Beds
  - Salvage and Store Existing Flood Light (1 Total)
  - Salvage Existing Stone Slabs and Store for Re-use (5 Total)
  - Protect in Place Existing Fire Hydrant (1 Total)





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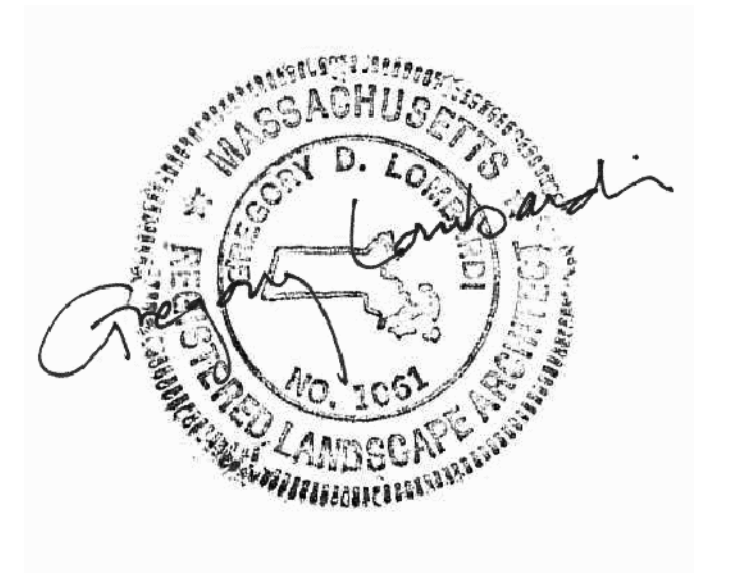
**E-ICON**  
ARCHITECTURE

101 SUMMER ST BOSTON MA 02110

CONSULTANT

GREGORY LOMBARDI DESIGN  
*Landscape Architecture*

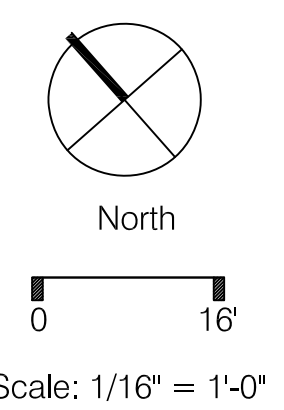
STAMP



KEY PLAN

## LEGEND

- Limit of Work
- Property Line
- Existing Contour
- Face of Stair Riser
- Building Entrance
- New Light Pole (19 Total)
- Fire Hydrant (1 Total)
- Brick Pavement, Re-set
- Riverstone at Perimeter of Building
- Plant Bed
- Concrete Unit Pavement
- Brick Apron at Main Street Sidewalk
- Bollard, TYP. (24 Total)
- Curb Cut with Detectable Tile Warning Strip
- Existing Deciduous Tree to Remain
- Proposed Deciduous Tree
- Bike Rack (7 Total)
- New Flagpole and Foundation (3 Total)
- Reset Salvaged Parking Meter, Location TBD (2 Total)
- Reset Salvaged Metal Fence and Gate
- Reset Salvaged Pole Light, (3 Total)
- Catch Basin. See Civil
- W16-9 Pedestrian Crossing Sign with Rectangular Flashing Beacon per MUTCD
- Mail Drop Box
- Parking/Traffic Signage
  - Delivery Only
  - Left Turn Only



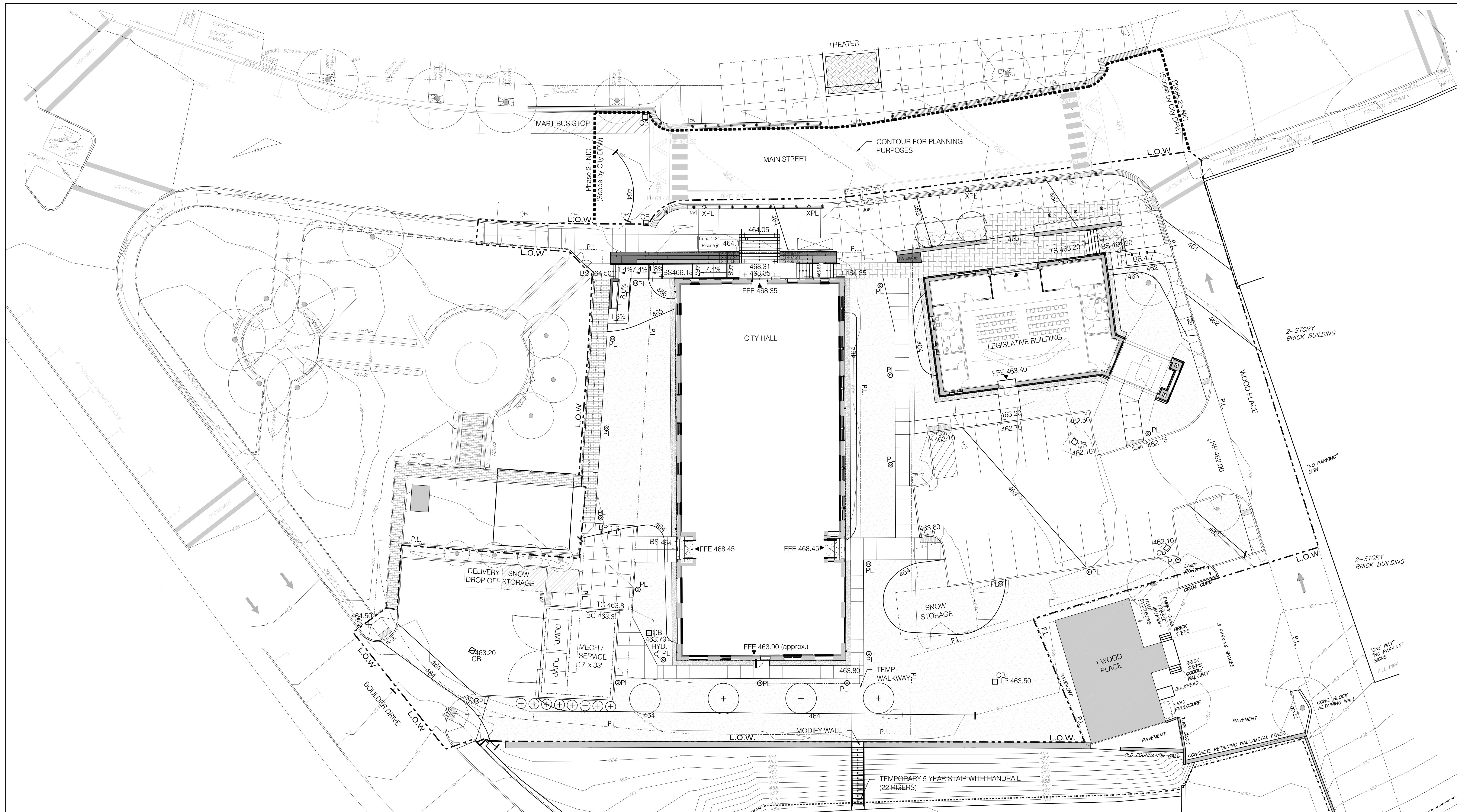
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SHEET TITLE

LAYOUT PLAN

L L-100





# FITCHBURG CITY HALL CAMPUS

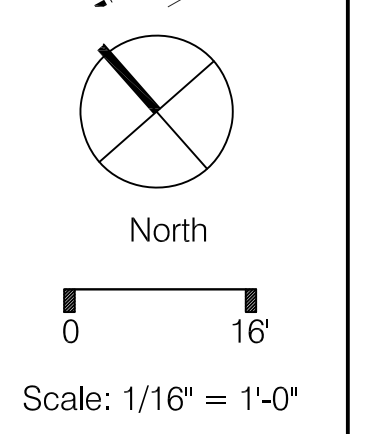
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KEY PLAN



**LEGEND**

L.O.W.	Limit of Work	Bollard, TYP.
P.L.	Property Line	Curb Cut with Detectable Tile Warning Strip
50	Existing Contour	Existing Deciduous Tree to Remain
50	Proposed Contour	Proposed Deciduous Tree
—	Face of Stair Riser	BR = Bike Rack (7 Total)
+ 16.00	Spot Elevation	FP = New Flagpole and Foundation
X.X%	Slope Direction and Degree	Reset Salvaged Parking Meter, Location TBD (2 Total)
FFE	Finished Floor Elevation	Reset Salvaged Metal Fence and Gate
TW	Top of Wall	XPL = Reset Salvaged Pole Light, (3 Total)
BW	Bottom of Wall	CB Catch Basin, See Civil
TS	Top of Step	CW W16-9 Pedestrian Crossing Sign with Rectangular Flashing Beacon Per MUTCD
BS	Bottom of Step	M Mail Drop Box
TC	Top of Curb	S Parking/Traffic Signage
BC	Bottom of Curb	• Delivery Only
TF	Top of Fence	• Left Turn Only
TR	Top of Falling	
RIM/CB/TD	Inlet/Catch Basin/Trench Drain	
AD #	Area Drain	
▼	Building Entrance	
PL	Light Pole	
FH	Fire Hydrant	

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SHEET TITLE

## GRADING PLAN

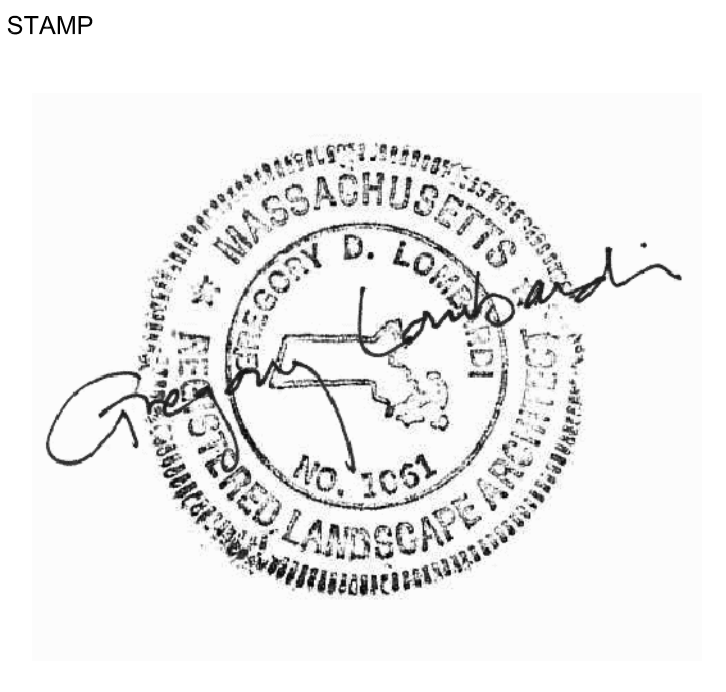
L L-300

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KEY PLAN

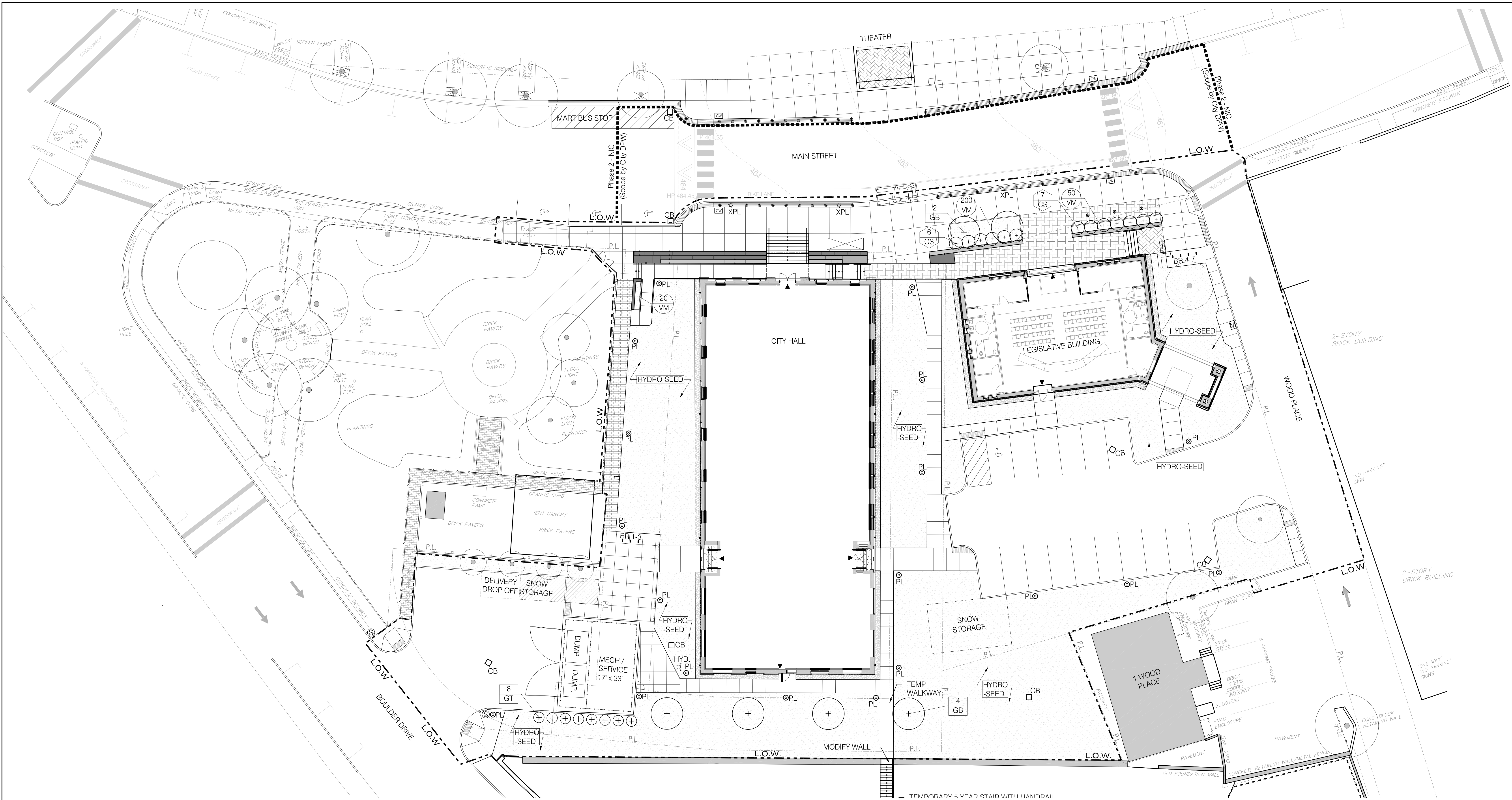
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**CHECKED BY:** BM

SHEET TITLE

## PLANTING PLAN

**L L-400**



**LEGEND**

- L.O.W. Limit of Work
- P.L. Property Line
- Existing Deciduous Tree to Remain
- Proposed Deciduous Tree
- Tree Tag
- Shrub Tag
- Perennial Tag
- Hydro-Seed

**PLANT SCHEDULE:**

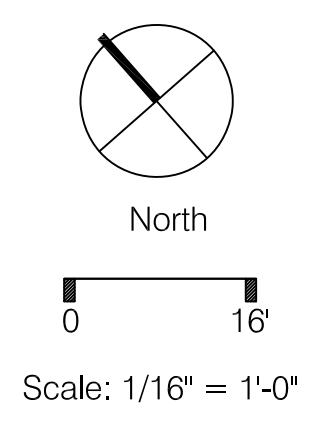
QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE
6	GB	<i>Ginkgo biloba</i>	Ginkgo	4" CAL.
8	GT	<i>Gleditsia triacanthos</i>	Honey Locust	1.5" CAL.
13	CS	<i>Cornus sericea 'Kelsey'</i>	Kelsey Red Twig Dogwood	24" HT.
270	VM	<i>Vinca minor</i>	Periwinkle	3" POT
-	-	<i>Poa pratensis (18,500 sf)</i>	Kentucky Bluegrass	hydro-seed

**PLANTING NOTES:**

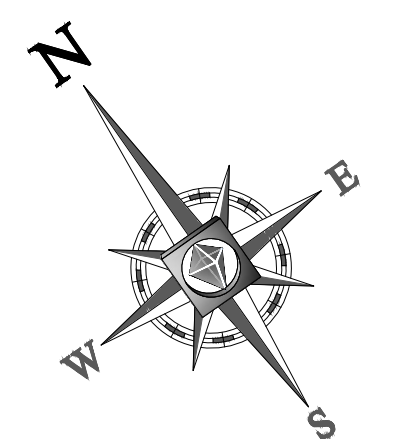
- ALL NEW PLANTING MATERIAL SHALL CONFORM TO MINIMUM GUIDELINES ESTABLISHED BY THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN NURSERYMEN AND LANDSCAPE ASSOCIATION (ANLA). ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY AND PLANT HEIGHT MEASURED FROM ROOT FLARE NOT BOTTOM OF POT OR BURLAP BALL.
- CONTRACTOR SHALL CONFIRM SIZE (HEIGHT AND SPREAD) OF ALL EVERGREEN MATERIAL PRIOR TO PURCHASING. LANDSCAPE ARCHITECT MAY ADJUST QUANTITIES BASED ON SIZE OF AVAILABLE MATERIAL.
- CONTRACTOR TO DIG TEST PITS PRIOR TO ORDERING PLANT MATERIAL TO CONFIRM DEPTH OF PLANTING BEDS.
- ALL FRUITING/ORCHARD TREE CULTIVARS TO BE CONFIRMED BY LANDSCAPE ARCHITECT.

**IRRIGATION NOTES:**

- COORDINATE FINAL LOCATION OF ALL, SPRINKLERS AND NOZZLE SELECTION W/ FINAL APPROVED LANDSCAPE.
- ALL PIPE AND VALVE LOCATIONS ARE DIAGRAMMATIC, CONTRACTOR SHALL FIELD VERIFY.
- ALL VALVES AND VALVE BOXES SHALL BE PLACED, WHERE POSSIBLE, IN PLANTED AREAS UNDER MULCH.
- INSTALL ALL PIPING AS FAR FROM TREES AND ROOT BALLS AS POSSIBLE WHILE MAINTAINING SPRINKLER SPACING.
- ALL CONTROL WIRE SHALL BE 2 CONDUCTOR 14 AWG WIRE FOR THE DECODER SYSTEM, AS SPECIFIED.
- QUICK COUPLING VALVES SHALL BE INSTALLED ON 1 INCH BRASS SWING JOINTS. (SEE DETAIL)
- ALL SPRAY SPRINKLERS SHALL BE INSTALLED ON SWING PIPE ASSEMBLIES, MIN. LENGTH TO BE 6 INCHES, 18 INCH MAXIMUM.
- IRRIGATION SYSTEM IS DESIGNED FOR A SEPARATE WATER SUPPLY TO PROVIDE 50 GPM MAX FROM NEW 2-INCH SERVICE. SYSTEM TO PRODUCE 70-PSI DYNAMIC PRESSURE AT DISCHARGE OF BOOSTER PUMP SYSTEM. PUMP CALCULATIONS ARE BASED ON 35-PSI STATIC PRESSURE AT THE WATER TAP LOCATION.
- CONTRACTOR SHALL TEST DYNAMIC PRESSURE BEFORE STARTING WORK, REPORT ANY DEVIATION FROM PRESSURE REQUIRED TO OWNERS REP. BEFORE CONTINUING.
- INSTALL CONTROLLER IN ENCLOSURE, GENERALLY WHERE SHOWN ON THE DRAWINGS. HARD WIRE TO SINGLE-PHASE 120 VOLT, DEDICATED 15 AMP CIRCUIT POWER SUPPLY USING LICENSED ELECTRICIAN. ELECTRIC SUPPLY SHALL HAVE CIRCUIT BREAKER, ROUTE ALL ZONE AND SPARE WIRES TO CONTROLLER VIA CONDUIT THROUGH ENCLOSURE BASE.
- INSTALL RAIN SENSOR ON OUTSIDE OF CONTROLLER ENCLOSURE. ROUTE RAIN SENSOR WIRING TO CONTROLLER THROUGH ENCLOSURE WALL.
- INSTALL REDUCED PRESSURE BACKFLOW PREVENTER AND IRRIGATION BOOSTER PUMP IN ENCLOSURE, GENERALLY WHERE SHOWN ON THE DRAWINGS. HARD WIRE TO SINGLE-PHASE 240 VOLT, DEDICATED CIRCUIT POWER SUPPLY USING LICENSED ELECTRICIAN. ELECTRIC SUPPLY SHALL HAVE FUSED DISCONNECTS. ROUTE ALL WIRES TO PUMP VIA CONDUITS THROUGH ENCLOSURE BASE.
- COORDINATE LOCATION OF ALL EXISTING AND FUTURE UTILITIES ON SITE AND CONTACT PROPER AUTHORITIES AND UTILITY COMPANIES BEFORE THE START OF WORK.
- FLUSH ALL LATERAL LINES BEFORE INSTALLING SPRINKLERS.
- SPRAY SPRINKLERS FOR TURF SHALL HAVE 6 INCH POP UP HEIGHT.
- INSTALL LSP LIGHTNING PROTECTION AT END OF ALL WIRE RUNS, AND AT LEAST EVERY 500 FEET, GENERALLY AS INDICATED ON THE DRAWINGS.
- CONTRACTOR MUST SUBMIT SHOP DRAWINGS AS PER THE WRITTEN SPECIFICATIONS TO THE IRRIGATION CONSULTANT FOR APPROVAL PRIOR TO ORDERING MATERIAL AND BEGINNING WORK.
- ANY AND ALL MATERIAL SUBSTITUTIONS WHICH VARY FROM THE SPECIFIED PRODUCTS MUST BE SUBMITTED TO THE IRRIGATION CONSULTANT FOR APPROVAL AS PART OF THE SUBMITTAL PROCESS.
- ONCE APPROVED SUBMITTALS HAVE BEEN RETURNED TO THE CONTRACTOR, WORK MAY BEGIN. THE IRRIGATION CONSULTANT MUST BE NOTIFIED A MINIMUM OF 7-DAYS IN ADVANCE OF THE START OF WORK TO COORDINATE ON-SITE SUPERVISION AND ADMINISTRATION.







CENTRAL STREET  
ONE WAY

GROVE STREET  
ONE WAY

WOOD PLACE  
ONE WAY

BOULDER DRIVE  
ONE WAY

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ARCHITECT



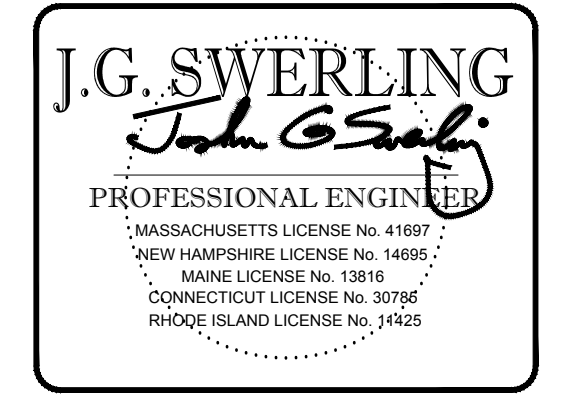
101 SUMMER ST BOSTON MA 02110

CONSULTANT



352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
Phone: (508) 480-9900  
Fax: (508) 480-9080  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

STAMP



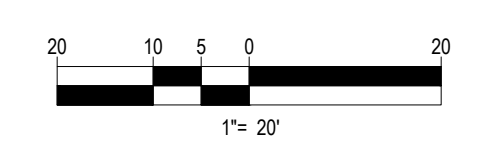
CONTRACTOR TO VERIFY THE ELEVATION & LOCATION OF ALL EXISTING UTILITIES & NOTIFY DESIGN ENGINEER & OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES ENCOUNTERED DURING CONSTRUCTION

CONTRACTOR TO PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION & NOTIFY DESIGN ENGINEER & OWNER REPRESENTATIVE OF ANY DISCREPANCIES ENCOUNTERED DURING CONSTRUCTION

CONTRACTOR TO NOTIFY DESIGN ENGINEER AND OWNER'S REPRESENTATIVE IF SERVICE PROVIDER AND/OR LOCAL MUNICIPALITY REQUIRES ANY CHANGES TO THE PROPOSED PLAN CONFIGURATION PRIOR TO CONSTRUCTION

THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY

REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITIES NOTES



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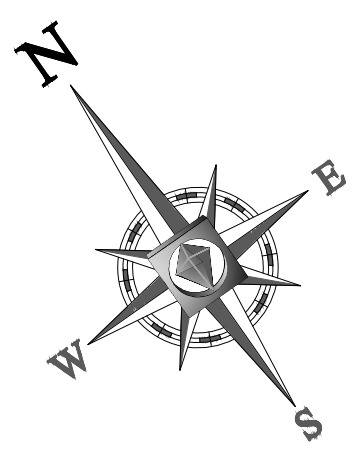
PROJECT NUMBER: W181140  
DRAWN BY: CFD/DTB  
CHECKED BY: AD

SHEET TITLE

UTILITY PLAN

A C-100





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101 SUMMER ST BOSTON MA 02110

CONSULTANT



352 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
Phone: (508) 480-9900  
Fax: (508) 480-9080  
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STAMP



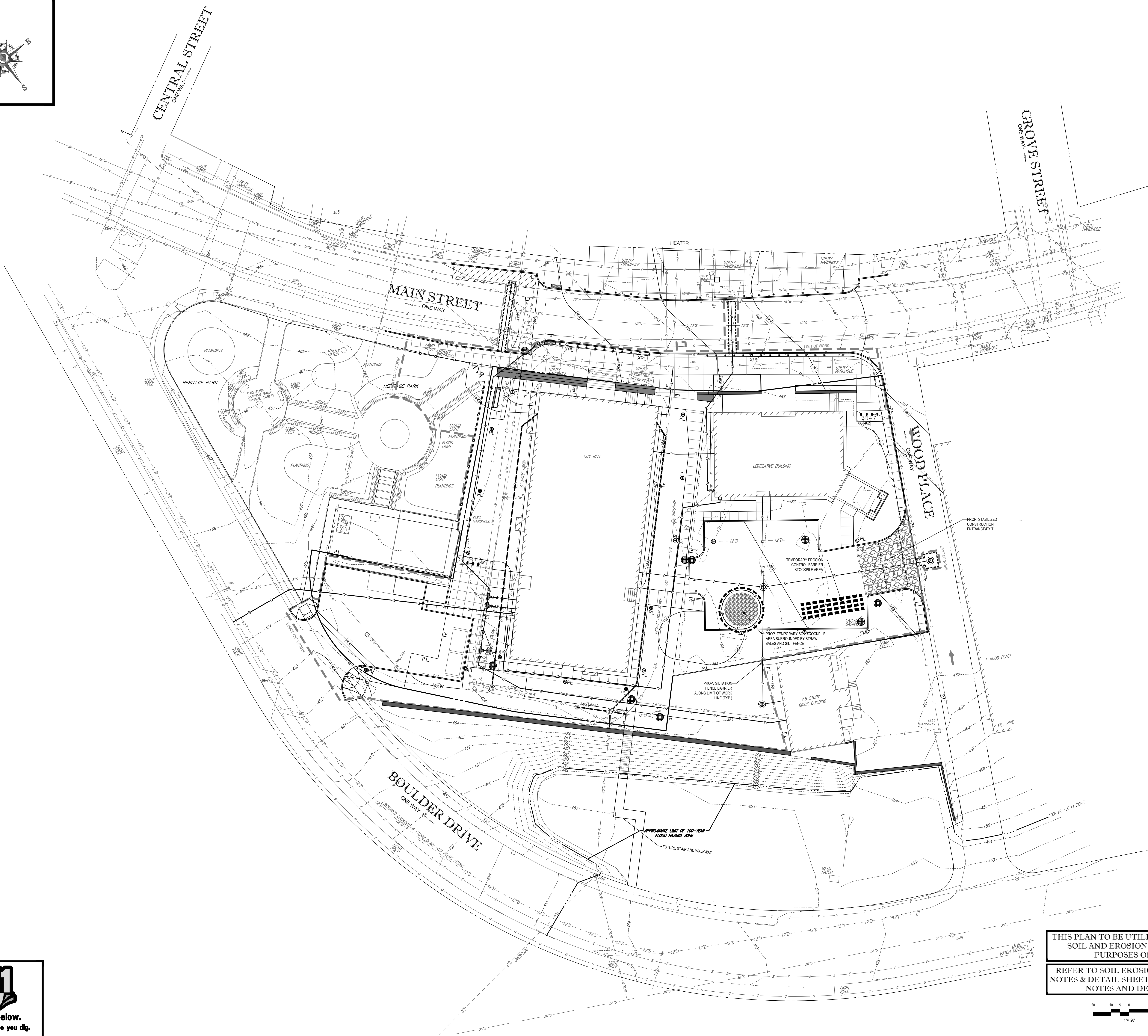
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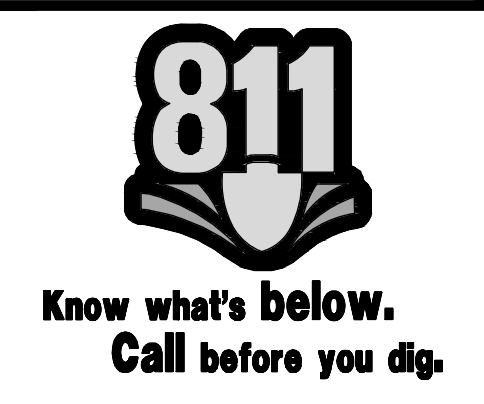
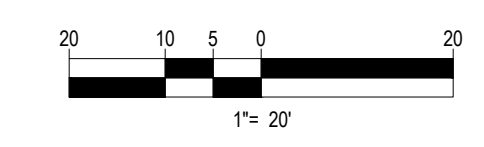
## SOIL EROSION & SEDIMENT CONTROL PLAN

A C-200

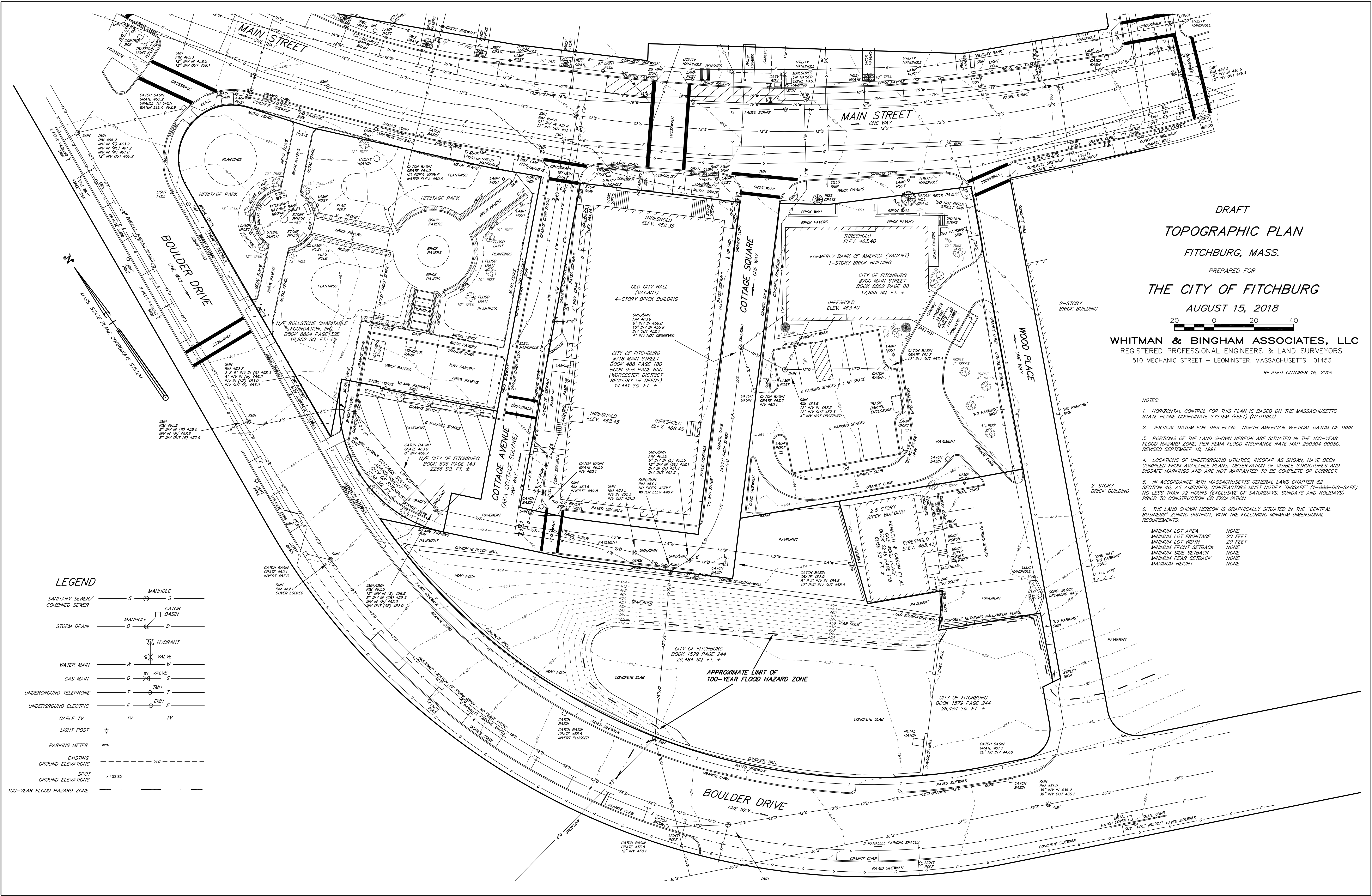


THIS PLAN TO BE UTILIZED FOR SITE SOIL AND EROSION CONTROL PURPOSES ONLY

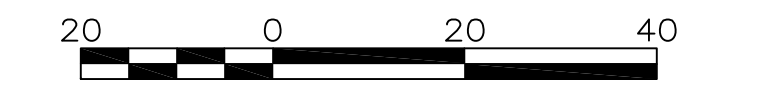
REFER TO SOIL EROSION CONTROL NOTES & DETAIL SHEET FOR EROSION NOTES AND DETAILS







DRAFT  
**TOPOGRAPHIC PLAN**  
 FITCHBURG, MASS.  
 PREPARED FOR  
**THE CITY OF FITCHBURG**  
 AUGUST 15, 2018



**WHITMAN & BINGHAM ASSOCIATES, LLC**  
 REGISTERED PROFESSIONAL ENGINEERS & LAND SURVEYORS  
 510 MECHANIC STREET - LEOMINSTER, MASSACHUSETTS 01453  
 REVISED OCTOBER 16, 2018

- NOTES:
- HORIZONTAL CONTROL FOR THIS PLAN IS BASED ON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (FEET) (NAD1983).
  - VERTICAL DATUM FOR THIS PLAN: NORTH AMERICAN VERTICAL DATUM OF 1988
  - PORTIONS OF THE LAND SHOWN HEREON ARE SITUATED IN THE 100-YEAR FLOOD HAZARD ZONE, PER FEMA FLOOD INSURANCE RATE MAP 250304 0008C, REVISED SEPTEMBER 18, 1991.
  - LOCATIONS OF UNDERGROUND UTILITIES, INsofar AS SHOWN, HAVE BEEN COMPILED FROM AVAILABLE PLANS; OBSERVATION OF VISIBLE STRUCTURES AND DISSAFE MARKINGS AND ARE NOT WARRANTED TO BE COMPLETE OR CORRECT.
  - IN ACCORDANCE WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82 SECTION 40, AS AMENDED, CONTRACTORS MUST NOTIFY "DIGSAFE" (1-888-DIG-SAFE) NO LESS THAN 72 HOURS (EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS) PRIOR TO CONSTRUCTION OR EXCAVATION.
  - THE LAND SHOWN HEREON IS GRAPHICALLY SITUATED IN THE "CENTRAL BUSINESS" ZONING DISTRICT, WITH THE FOLLOWING MINIMUM DIMENSIONAL REQUIREMENTS:
 

MINIMUM LOT AREA	NONE
MINIMUM LOT FRONTAGE	20 FEET
MINIMUM LOT WIDTH	20 FEET
MINIMUM FRONT SETBACK	NONE
MINIMUM SIDE SETBACK	NONE
MINIMUM REAR SETBACK	NONE
MAXIMUM HEIGHT	NONE

**LEGEND**

SANITARY SEWER / COMBINED SEWER	— S —	MANHOLE	— S —
STORM DRAIN	— D —	CATCH BASIN	□
		HYDRANT	⊕
WATER MAIN	— W —	VALVE	⊕
GAS MAIN	— G —	VALVE	⊕
UNDERGROUND TELEPHONE	— T —	TMH	⊕
UNDERGROUND ELECTRIC	— E —	EMH	⊕
CABLE TV	— TV —	TV	⊕
LIGHT POST	⊙		
PARKING METER	⊙		
EXISTING GROUND ELEVATIONS	— 500 —		
SPOT GROUND ELEVATIONS	⊕ 453.80		
100-YEAR FLOOD HAZARD ZONE	—		

APPROXIMATE LIMIT OF 100-YEAR FLOOD HAZARD ZONE